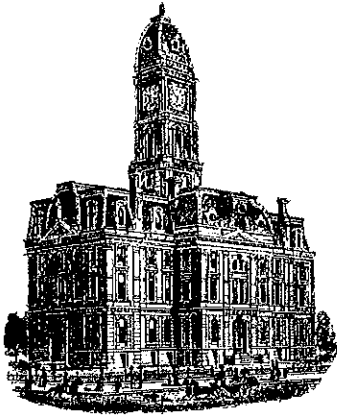


K.W.



SURVEYOR'S OFFICE Hamilton County

Kenton C. Ward, CFM
Surveyor of Hamilton County
Phone (317) 776-8495
Fax (317) 776-9628

Suite 188
One Hamilton County Square
Noblesville, Indiana 46060-2230

April 5, 2017

To: Hamilton County Drainage Board

Re: Vermillion Drain, The Ridge at Flat Fork, Sec. 2 Arm

Attached is a petition filed by North Connecticut Development Corporation, along with a non-enforcement request, plans, calculations, and quantity summary for the Vermillion Drain, The Ridge at Flat Fork, Sec. 2 Arm to be located in Fall Creek Township. I have reviewed the submittals and petition and have found each to be in proper form.

I have made a personal inspection of the land described in the petition. Upon doing so, I believe that the drain is practicable, will improve the public health, benefit a public highway, and be of public utility and that the costs, damages and expenses of the proposed drain will probably be less than the benefits accruing to the owners of land likely to be benefited. As per the plans by Weihe Engineers, Project No. W16.0060, the drain will consist of the following new lengths:

12" RCP	219 ft.	24" RCP	436 ft.
18" RCP	28 ft.	6" SSD	2,706 ft.

The total length of the newly installed drain will be 3,389 feet. Note: Pond #8 located in this section was constructed with Sec. 1 and the footage was included in the Sec. 1 report dated November 5, 2014.

The subsurface drains (SSD) to be part of the regulated drain are those located under the curbs and those main lines in rear yards. Only the main SSD lines which are located within the easement or right of way are to be maintained as regulated drain. Laterals for individual lots will not be considered part of the regulated drain.

The detention pond (Wet Pond #8 located in Coramon Area A) is to be considered part of the regulated drain. This is consistent with the ponds in other Vermillion sections. The maintenance of the ponds shall include the inlet and outlet as part of the regulated drain. The maintenance of the ponds such

as sediment removal, and erosion control along the banks, mowing and aquatic vegetation control will be the responsibility of the Homeowners Association. The Board will also retain jurisdiction for ensuring the storage volume for which the pond was designed will be retained, thereby, allowing no fill or easement encroachments.

I have reviewed the plans and believe the drain will benefit each lot equally. Therefore, I recommend each lot be assessed equally. I also believe that no damages will result to landowners by the construction of this drain. I recommend a maintenance assessment of \$65.00 per platted lot, \$10.00 per acre for common areas, with a \$65.00 minimum, and \$10.00 per acre for roadways. With this assessment the total annual assessment for this drain for Section 2 will be \$1,608.90.

The petitioner has submitted surety for the proposed drain at this time. The sureties which are in the form of Letters of Credit from the developer are as follows:

Agent: Standard Financial Corporation
Date: February 3, 2017
Number: 1257RFF2
For: Storm Sewers
Amount: \$94,017.60
HCDB-2017-00009

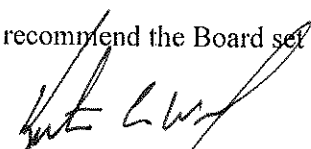
Agent: Standard Financial Corporation
Date: February 3, 2017
Number: 1258RFF2
For: Erosion Control
Amount: \$27,978.43
HCDB-2017-00010

Agent: Standard Financial Corporation
Date: February 3, 2017
Number: 1259RFF2
For: Monumentation
Amount: \$4,008.00
HCDB-2017-00011

I believe this proposed drain meets the requirements for Urban Drain Classification as set out in IC 36-9-27-67 to 69. Therefore, this drain shall be designated as an Urban Drain.

I recommend that upon approval of the above proposed drain that the Board also approve the attached non-enforcement request. The request will be for the reduction of the regulated drain easement to those easement widths as shown on the secondary plat for "The Ridge at Flat Fork, Sec. 2" upon recording in the office of the Hamilton County Recorder.

I recommend the Board set a hearing for this proposed drain for May 22, 2017.


Kenton C. Ward, CFM
Hamilton County Surveyor
KCW/stc

STATE OF INDIANA)
)
COUNTY OF HAMILTON)

FILED

MAR - 2 2016

TO: HAMILTON COUNTY DRAINAGE BOARD
% Hamilton County Surveyor
One Hamilton County Square, Suite 188
Noblesville, IN. 46060-2230

OFFICE OF HAMILTON COUNTY SURVEYOR

In the matter of The Ridge at Flat Fork Subdivision, Section
Two Drain Petition.

Petitioner is the owner of all lots in the land affected by the proposed new regulated drain. The drainage will affect various lots in The Ridge at Flat Fork - Section Two, a subdivision in Hamilton County, Indiana. The general route of such drainage shall be in existing easements and along public roads as shown in the plans on file in the Surveyor's Office.

Petitioner believes that the cost, damages and expenses of the proposed improvement will be less than the benefits which will result to the owners of the land likely to be benefited thereby. Petitioner believes the proposed improvements will:

- (a) improve public health
- (b) benefit a public street
- (c) be of public utility

Petitioner agrees to pay the cost of construction of the drainage system and requests periodic maintenance assessments by the Board thereafter.

The Petitioner also agrees to the following:

1. To provide the Drainage Board a Performance Bond or Non-Revocable Letter of Credit for the portion of the drainage system which will be made a regulated drain. The bond will be in the amount of 120% of the Engineer's estimate. The bond will be in effect until construction of 100% of the system is completed and so certified by the Engineer.
2. The Petitioner shall retain an Engineer throughout the construction phase. At completion of the project the Petitioner's Engineer shall certify that the drainage system which is to be maintained as a regulated drain has been constructed as per construction plans.
3. The Petitioner agrees to request in writing to the County Surveyor any changes from the approved plan and must receive written authorization from the County Surveyor prior to implementation of the change. All changes shall be documented and given to the Surveyor to be placed in the Drain file.
4. The Petitioner shall instruct his Engineer to provide a reproducible print on a 24" x 36" Mylar of the final design of the Drainage System. This shall be submitted to the County Surveyor prior to the release of the Performance Bond.
5. The Petitioner shall comply with the Erosion Control Plan as specified on the construction plans. Failure to comply with the Erosion Control Plan shall be determined by the Board as being an obstruction to the drainage system. The County Surveyor shall immediately install or repair the needed measures at Petitioners cost as per IC 36-9-27-46.

The Petitioner further requests that the Drain be classified as an Urban Drain as per IC 36-9-27-69(d).

RECORDED OWNER(S) OF LAND INVOLVED

North Connecticut Development Corp.

Douglas B. Wagner, Sr. V.P.

Signed

Signed

DOUGLAS B. WAGNER

Printed Name

Printed Name

2.25.16

Date

Date

Signed

Signed

Printed Name

Printed Name

Date

Date

FINDINGS AND ORDER


CONCERNING THE MAINTENANCE OF THE

Vermillion Drain,
The Ridge at Flat Fork Section 2 Arm

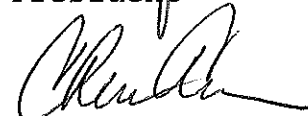
On this 22nd day of May, 2017, the Hamilton County Drainage Board has held a hearing on the Maintenance Report and Schedule of Assessments of the *Vermillion Drain, The Ridge at Flat Fork Section 2 Arm*.

Evidence has been heard. Objections were presented and considered. The Board then adopted the original/amended Schedule of Assessments. The Board now finds that the annual maintenance assessment will be less than the benefits to the landowners and issues this order declaring that this Maintenance Fund be established.

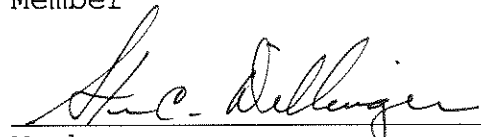
HAMILTON COUNTY DRAINAGE BOARD



President



Member



Member

Attest: 
Executive Secretary



ENGINEER'S ESTIMATE OF PROBABLE COST

OFFICE OF HAMILTON COUNTY SURVEYOR

Project: The Ridge at Flat Fork - Section Two
W160060

Date: 1/10/2017

STORM SEWERS

	Quantity	Unit Price	Gross Price
Structures			
Standard manholes	2	\$ 2,200.00	\$ 4,400.00
Standard Inlet	0	\$ -	\$ -
Double Curb Inlet	4	\$ 2,410.00	\$ 9,640.00
Castling Neenah R-3501 (curb inlet)	8	\$ 395.00	\$ 3,160.00
Castling Neenah R-4215-C (beehive inlet)	2	\$ 250.00	\$ 500.00
Tons of stone Bedding (#8)	160	\$ 20.00	\$ 3,200.00
Tons of stone Backfill (#53)	120	\$ 13.50	\$ 1,620.00
Tons of Rip Rap	20	\$ 45.00	\$ 900.00
Lot connections (4" underdrain)	22	\$ 125.00	\$ 2,750.00
Linear feet of underdrain (6")	2,688	\$ 9.00	\$ 24,192.00
Cap and Seal	1	\$ 450.00	\$ 450.00

	Qty	Measurement	Size	Material	Unit Price	Gross Price
Pipe	219	Linear feet of	12"	RCP	\$ 22.00	\$ 4,818.00
	0	Linear feet of	15"	RCP	\$ 26.00	\$ -
	28	Linear feet of	18"	RCP	\$ 28.00	\$ 784.00
	8	Linear feet of	21"	RCP	\$ 34.00	\$ 272.00
	436	Linear feet of	24"	RCP	\$ 42.00	\$ 18,312.00
	0	Linear feet of	27"	RCP	\$ -	\$ -
	0	Linear feet of	30"	RCP	\$ -	\$ -
	1	End Sections of	12"	RCP	\$ 1,400.00	\$ 1,400.00
	0	End Sections of	15"	RCP	\$ -	\$ -
	0	End Sections of	18"	RCP	\$ -	\$ -
	0	End Sections of	21"	RCP	\$ -	\$ -
	1	End Sections of	24"	RCP	\$ 1,950.00	\$ 1,950.00
	0	End Sections of	30"	RCP	\$ 2,150.00	\$ -
STORM SEWER TOTAL:						\$ 78,348.00

EROSION CONTROL

	Quantity	Unit Price	Gross Price
Seeding			
Acres of temp. seed & mulch	5.07	\$ 1,100.00	\$ 5,577.00
Square yards of permanent seed and straw mulch	14,316	\$ 0.36	\$ 5,153.76
Square yards of erosion control blanket w/ permanent seed)	2,972	\$ 1.05	\$ 3,120.60
Construction Entrance	1	\$ 3,300.00	\$ 3,300.00
Other			
Linear feet of silt fencing	3,920	\$ 1.05	\$ 4,116.00
Drop Inlet Protection	6	\$ 90.00	\$ 540.00
Curb Inlet Protection	6	\$ 168.00	\$ 1,008.00
Misc.			
Concrete Washout	1	\$ 500.00	\$ 500.00
Silt Fence Inlet Protection (Open Area)	0	\$ -	\$ -
EROSION CONTROL TOTAL			\$ 23,315.36

MONUMENTATION

	Quantity	Unit Price	Gross Price
Misc.			
Rebar Street Control	5	\$ 50.00	\$ 250.00
4x4 Concrete Monuments	2	\$ 75.00	\$ 150.00
Property Corners	84	\$ 35.00	\$ 2,940.00
EROSION CONTROL TOTAL			\$ 3,340.00

SUMMARY

	Total	Performance Guarantee	Maintenance Guarantee
	A	B = A X 120%	C = B X 20%
Storm Sewers	\$ 78,348.00	\$ 94,017.60	\$ 18,803.52
Erosion Control	\$ 23,315.36	\$ 27,978.43	\$ 5,595.69
Monumentation	\$ 3,340.00	\$ 4,008.00	\$ 801.60
	\$ 105,003.36	\$ 126,004.03	\$ 25,200.81

COMMENTS:

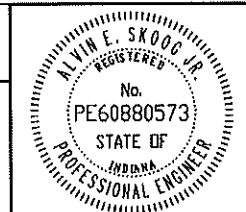
Bond Estimate Prepared by:

Signature: *Alvin E. Skoog, Jr.*

Printed Name: Alvin E. (Rusty) Skoog, Jr.

Title: Sr. Project Manager

Date: 10-Jan-17





February 3, 2017

HCD B-2017-00009

Irrevocable Letter of Credit No.: 1257RFF2

FILED

FEB 10 2017

OFFICE OF HAMILTON COUNTY SURVEYOR

TO: Hamilton County Commissioners
1 Hamilton County Square, Suite 157
Noblesville, IN 46060

To Whom It May Concern:

We hereby authorize you to value on us for the account of:

Developer Name: North Connecticut Development Corporation
Developer Address: 3150 Republic Blvd. N, #3
Toledo, OH 43615

For a sum or sums in United States of America Dollars not to exceed the aggregate total of Ninety-Four Thousand Seventeen and 60/100 Dollars (\$94,017.60) by your draft(s) at sight.

The purpose of this Letter of Credit is for the performance of the installation of storm sewers in The Ridge at Flat Fork, Section 2.

The condition for payment of any drafts drawn against the Letter of Credit requires that the draft be accompanied by beneficiary's signed statement on Hamilton County letterhead stating that North Connecticut Development Corporation has not performed or complied with the terms of the construction plan requirements of said project. The statement must also outline the specific deficiencies in construction.

All drafts must be marked, "Drawn under Standard Financial Corporation Letter of Credit No. 1257RFF2".

This credit is subject, so far as applicable, to "The Uniform Customs and Practice for Documentary Credits (2007 Revision), International Chamber of Commerce Publication No. 600".

This Letter of Credit is effective as of February 3, 2017 and shall expire on February 3, 2018, but such expiration date shall be automatically extended for a period of one year on February 3, 2018, and on each successive expiration date, unless a release is received from the Hamilton County Commissioners or we notify both the Hamilton County Commissioners and North Connecticut Development Corporation by certified mail, at least ninety (90) days before the current expiration date, that we have decided not to extend this Letter of Credit beyond the



current expiration date. In the event of such notification by us, the credit established by this Letter shall be available to the Hamilton County Commissioners upon its sight draft or demand for payment for ninety (90) days after receipt of such notice by the Hamilton County Commissioners as shown on the signed return receipt.

We hereby agree with you that all drafts drawn under and in compliance with the terms of this credit shall be duly honored on due presentation to the main office of Standard Financial Corporation, 13578 E. 131st Street, Suite 200, Fishers, IN 46037.

Sincerely,

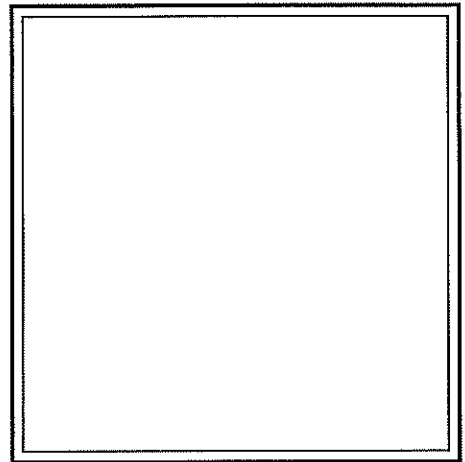
STANDARD FINANCIAL CORPORATION

A handwritten signature in cursive script, appearing to read 'Eric Roof', is written over a horizontal line.

Authorized Signature

Eric Roof, Treasurer

Name and Title



This Letter of Credit is not valid unless the seal of Standard Financial Corporation is affixed hereto.

FEB 10 2017

February 3, 2017

HCDB-2017-00010
Irrevocable Letter of Credit No.: 1258RFF2

OFFICE OF HAMILTON COUNTY SURVEYOR

TO: Hamilton County Commissioners
1 Hamilton County Square, Suite 157
Noblesville, IN 46060

To Whom It May Concern:

We hereby authorize you to value on us for the account of:

Developer Name: North Connecticut Development Corporation
Developer Address: 3150 Republic Blvd. N, #3
Toledo, OH 43615

For a sum or sums in United States of America Dollars not to exceed the aggregate total of Twenty-Seven Thousand Nine Hundred Seventy-Eight and 43/100 Dollars (\$27,978.43) by your draft(s) at sight.

The purpose of this Letter of Credit is for the performance of the installation of erosion control in The Ridge at Flat Fork, Section 2.

The condition for payment of any drafts drawn against the Letter of Credit requires that the draft be accompanied by beneficiary's signed statement on Hamilton County letterhead stating that North Connecticut Development Corporation has not performed or complied with the terms of the construction plan requirements of said project. The statement must also outline the specific deficiencies in construction.

All drafts must be marked, "Drawn under Standard Financial Corporation Letter of Credit No. 1258RFF2".

This credit is subject, so far as applicable, to "The Uniform Customs and Practice for Documentary Credits (2007 Revision), International Chamber of Commerce Publication No. 600".

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current expiration date. In the event of such notification by us, the credit established by this Letter shall be available to the Hamilton County Commissioners upon its sight draft or demand for payment for ninety (90) days after receipt of such notice by the Hamilton County Commissioners as shown on the signed return receipt.

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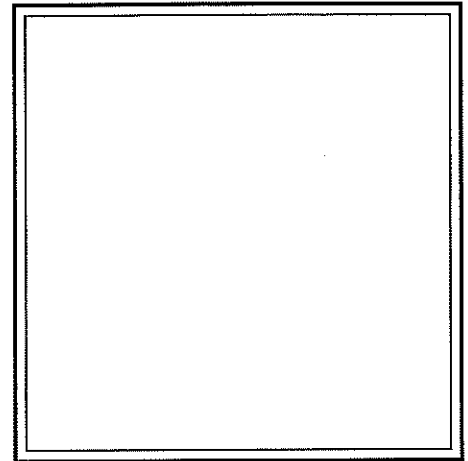
STANDARD FINANCIAL CORPORATION



Authorized Signature

Eric Roof, Treasurer

Name and Title



This Letter of Credit is not valid unless the seal of Standard Financial Corporation is affixed hereto.

February 3, 2017

HCDB-2017-00011
Irrevocable Letter of Credit No.: 1259RFF2

TO: Hamilton County Commissioners
1 Hamilton County Square, Suite 157
Noblesville, IN 46060

To Whom It May Concern:

We hereby authorize you to value on us for the account of:

Developer Name: North Connecticut Development Corporation
Developer Address: 3150 Republic Blvd. N, #3
Toledo, OH 43615

For a sum or sums in United States of America Dollars not to exceed the aggregate total of **Four Thousand Eight and 00/100 Dollars (\$4,008.00)** by your draft(s) at sight.

The purpose of this Letter of Credit is for the performance of the installation of monumentation in The Ridge at Flat Fork, Section 2.

The condition for payment of any drafts drawn against the Letter of Credit requires that the draft be accompanied by beneficiary's signed statement on Hamilton County letterhead stating that North Connecticut Development Corporation has not performed or complied with the terms of the construction plan requirements of said project. The statement must also outline the specific deficiencies in construction.

All drafts must be marked, "Drawn under Standard Financial Corporation Letter of Credit No. 1259RFF2".

This credit is subject, so far as applicable, to "The Uniform Customs and Practice for Documentary Credits (2007 Revision), International Chamber of Commerce Publication No. 600".

This Letter of Credit is effective as of February 3, 2017 and shall expire on February 3, 2018, but such expiration date shall be automatically extended for a period of one year on February 3, 2018, and on each successive expiration date, unless a release is received from the Hamilton County Commissioners or we notify both the Hamilton County Commissioners and North Connecticut Development Corporation by certified mail, at least ninety (90) days before the current expiration date, that we have decided not to extend this Letter of Credit beyond the



current expiration date. In the event of such notification by us, the credit established by this Letter shall be available to the Hamilton County Commissioners upon its sight draft or demand for payment for ninety (90) days after receipt of such notice by the Hamilton County Commissioners as shown on the signed return receipt.

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Sincerely,

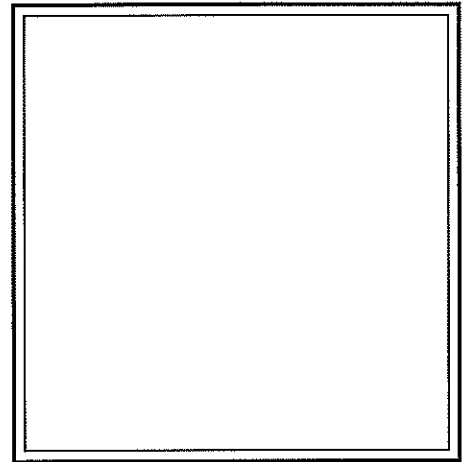
STANDARD FINANCIAL CORPORATION

A handwritten signature in cursive script, appearing to read 'Eric Roof', is written over a horizontal line.

Authorized Signature

Eric Roof, Treasurer

Name and Title



This Letter of Credit is not valid unless the seal of Standard Financial Corporation is affixed hereto.

BEFORE THE HAMILTON COUNTY DRAINAGE BOARD
IN THE MATTER OF

Vermillion Drain, The Ridge at Flat Fork Section 2 Arm

NOTICE

To Whom It May Concern and: _____

Notice is hereby given of the hearing of the Hamilton County Drainage Board on the **Vermillion Drain, The Ridge at Flat Fork Section 2 Arm** on **May 22, 2017 at 9:05 A.M.** in Commissioners Court, Hamilton County Judicial Center, One Hamilton County Square, Noblesville, Indiana, and which construction and maintenance reports of the Surveyor and the Schedule of Assessments made by the Drainage Board have been filed and are available for public inspection in the office of the Hamilton County Surveyor.

Hamilton County Drainage Board

Attest: Lynette Mosbaugh

ONE TIME ONLY

BEFORE THE HAMILTON COUNTY DRAINAGE BOARD
IN THE MATTER OF THE

Vermillion Drain,
The Ridge at Flat Fork Section 2 Arm

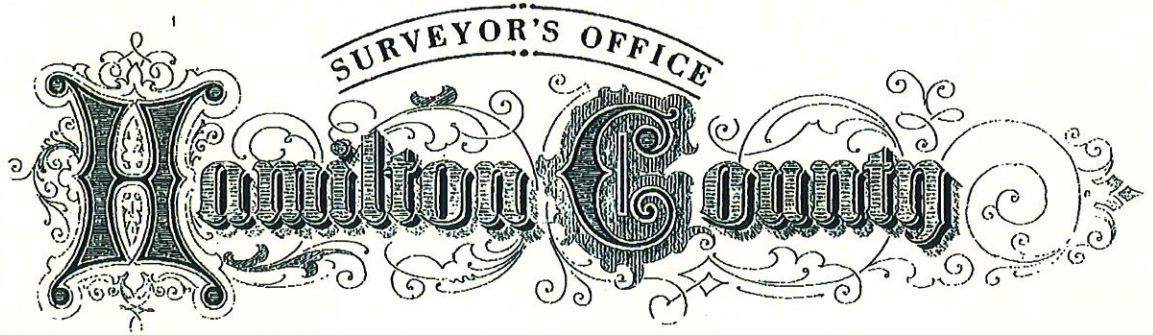
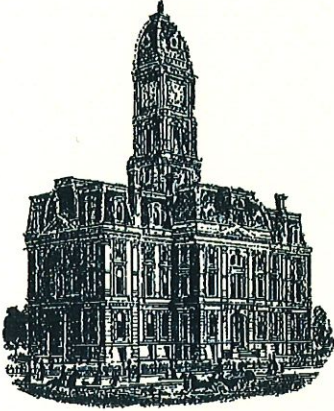
NOTICE

Notice is hereby given pursuant to Section 405 of the 1965 Indiana Drainage Code that this Board, prior to final adjournment on **May 22 2017** has issued an order adopting the Schedule of Assessments, filed the same and made public announcement thereof at the hearing and ordered publication. If judicial review of the findings and order of the Board is not requested pursuant to Article Eight of this code within twenty (20) days from the date of this publication, the order shall be conclusive.

Hamilton County Drainage Board

Attest: Lynette Mosbaugh

ONE TIME ONLY



Kenton C. Ward, CFM
Surveyor of Hamilton County
Phone (317) 776-8495
Fax (317) 776-9628

Suite 188
One Hamilton County Square
Noblesville, Indiana 46060-2230

To: Hamilton County Drainage Board

July 20, 2018

Re: Vermillion Drain: The Ridge at Flat Fork Sec. 2

Attached are as-built, certificate of completion & compliance, and other information for The Ridge at Flat Fork Section 2. An inspection of the drainage facilities for this section has been made and the facilities were found to be complete and acceptable.

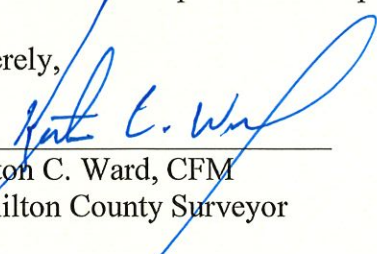
During construction, changes were made to the drain, which will alter the plans submitted with my report for this drain-dated April 5, 2017. The report was approved by the Board at the hearing held May 22, 2017. (See Drainage Board Minutes Book 17, Pages 353-354) The changes are as follows: the 12" RCP was shortened from 219 feet to 211 feet. The 24" RCP was shortened from 436 feet to 434 feet. The 6" SSD was shortened from 2,706 feet to 2,665 feet. The length of the drain due to the changes described above is now **3,338 feet**.

The non-enforcement was approved by the Board at its meeting on May 22, 2017 and recorded under instrument #2018008682. The following sureties were guaranteed by Standard Financial Corp. and released by the Board on its July 9, 2018 meeting.

Bond-LC No: 1257RFF2
Amount: \$94,017.60
For: Storm Sewers
Issue Date: February 3, 2017

I recommend the Board approve the drain's construction as complete and acceptable.

Sincerely,


Kenton C. Ward, CFM
Hamilton County Surveyor

FILED

NOV 16 2017

OFFICE OF HAMILTON COUNTY SURVEYOR

CERTIFICATE OF COMPLETION AND COMPLIANCE

To: Hamilton County Surveyor

Re: THE RIDGE AT FLAT FORK SECTION 2

I hereby certify that:

- 1. I am a Registered Land Surveyor or Engineer in the State of Indiana.
- 2. I am familiar with the plans and specifications for the above referenced subdivision.
- 3. I have personally observed and supervised the completion of the drainage facilities for the above referenced subdivision.
- 4. The drainage facilities within the above referenced subdivision to the best of my knowledge, information and belief have been installed and completed in conformity with all plans and specifications.
- 5. The drainage facilities within the above referenced subdivision to the best of my knowledge, information and belief have been correctly represented on the Record Drawings, Digital Record Drawings and the Structure Data Spreadsheet.

Signature: Joseph T Ryan Date: 11/15/2017

Type or Print Name: JOSEPH TRYAN

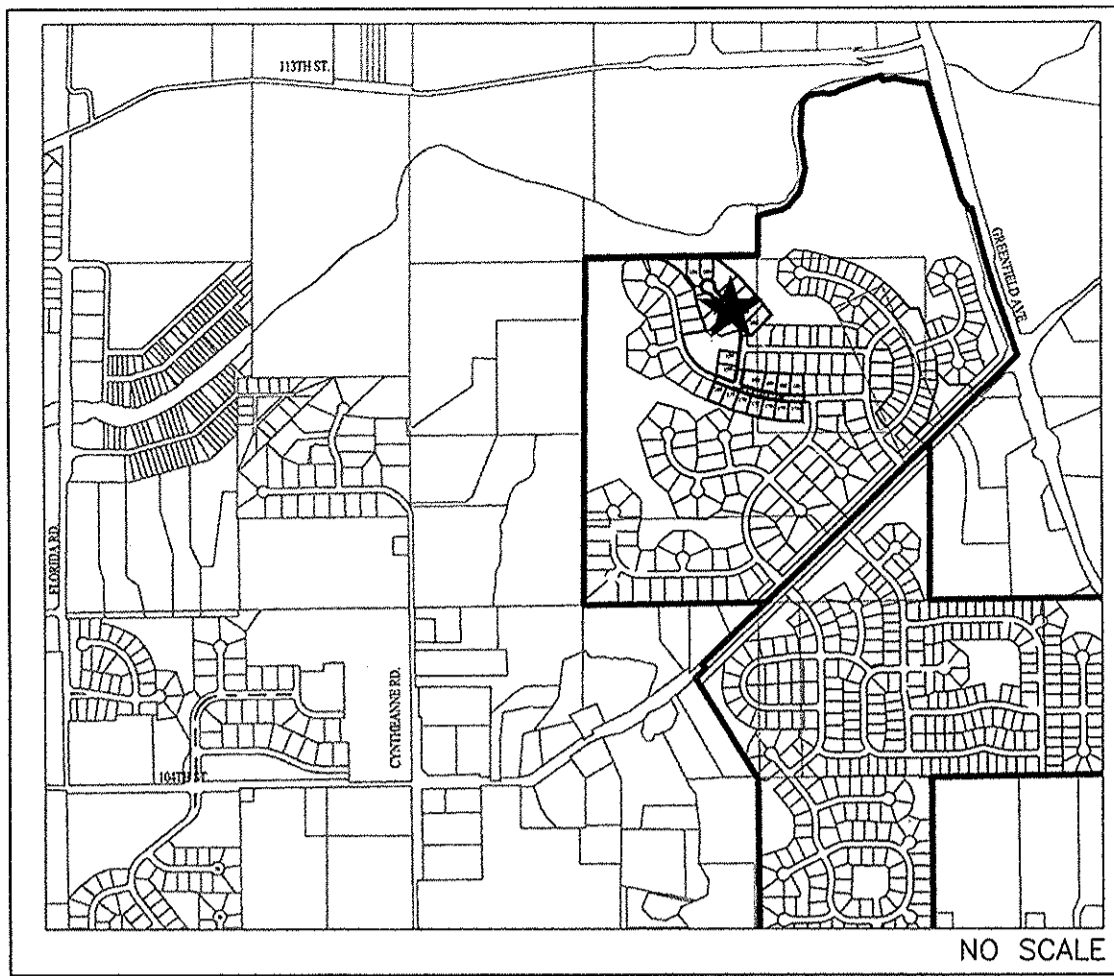
Business Address: 10505 NORTH COLLEGE AVENUE
INDIANAPOLIS, IN 46280

Telephone Number: 317 - 846 - 6611



INDIANA REGISTRATION NUMBER
LS21500003

RECORD DRAWING
 CONSTRUCTION DRAWINGS
THE RIDGE AT FLAT FORK
SECTION TWO
 FALL CREEK TOWNSHIP, FORTVILLE, IN 46040



AREA LOCATION MAP

GENERAL NOTES

- THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING, OR VERIFYING THAT ALL PERMITS AND APPROVALS ARE OBTAINED FROM THE RESPECTIVE CITY, COUNTY, AND STATE AGENCIES PRIOR TO STARTING CONSTRUCTION.
- IT SHALL BE THE CONTRACTORS RESPONSIBILITY TO DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES IN THE VICINITY OF THE CONSTRUCTION AREA PRIOR TO STARTING CONSTRUCTION.
- IT SHALL BE THE CONTRACTORS RESPONSIBILITY TO NOTIFY AND COORDINATE CONSTRUCTION WITH ALL RESPECTIVE UTILITIES.
- ALL QUANTITIES GIVEN ON THESE PRINTS ARE ESTIMATES AND SHALL BE CONFIRMED BY THE BIDDING CONTRACTORS.
- OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION (OSHA) STANDARDS FOR EXCAVATIONS; FINAL RULE 29 CFR PART 1926, SUBPART "P" APPLIES TO ALL EXCAVATIONS EXCEEDING FIVE (5) FEET IN DEPTH.
- TEMPORARY TRAFFIC CONTROL DURING CONSTRUCTION TO CONFORM TO APPLICABLE LOCAL STANDARDS.
- THE ENGINEER AND/OR OWNER DISCLAIM ANY ROLE IN THE CONSTRUCTION MEANS AND METHODS ASSOCIATED WITH THE PROJECT.
- ANY FIELD TILES ENCOUNTERED DURING EXCAVATION SHALL BE REPAIRED AND CONNECTED TO NEW STORM SEWERS AND POSITIVE DRAINAGE PRESERVED.
- THE SITE DOES NOT LIE IN A SPECIAL FLOOD HAZARD AREA AS ESTABLISHED BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY - NATIONAL FLOOD INSURANCE PROGRAM, WHEN PLOTTED BY SCALE ON FLOOD INSURANCE RATE MAP #18057C0259G AND 18057C0278G, NOVEMBER 19, 2014.
- BEARINGS, DIMENSIONS AND EASEMENTS ARE SHOWN FOR REFERENCE ONLY. SEE RECORD SURVEYS & PLAT FOR EXACT INFORMATION.
- THIS SITE DOES CONTAIN WETLANDS AS SHOWN ON THE U.S. DEPARTMENT OF THE INTERIOR FISH AND WILDLIFE SERVICE; FORTVILLE, INDIANA, NATIONAL WETLANDS INVENTORY MAP. NO WETLANDS ARE IMPACTED BY THIS DEVELOPMENT.
- DESIGN PROFESSIONAL CERTIFYING PLANS FOR THE PROJECT ACKNOWLEDGES THEIR PROFESSIONAL RESPONSIBILITY FOR ENSURING THAT ALL WORK IS CORRECT, ACCURATE AND COMPLIES WITH ALL APPROPRIATE LAWS, STANDARDS, REGULATIONS AND ORDINANCES. IF AN ERROR OR OMISSION IS FOUND, THE DESIGN PROFESSIONAL ACCEPTS FULL RESPONSIBILITY AND SHALL DETERMINE A SOLUTION THAT COMPLIES WITH ALL APPROPRIATE LAWS, STANDARDS, REGULATIONS AND ORDINANCES. IF AN ERROR OR OMISSION IS FOUND, THE DEVELOPER IS NOT RELIEVED OF COMPLYING WITH ALL APPROPRIATE LAWS, STANDARDS, REGULATIONS AND ORDINANCES.
- ALL WATER MAIN, HYDRANTS, AND WATER VALVES SHALL BE INSPECTED AND SHALL COMPLY WITH BACKFILL, BEDDING, AND THRUST BLOCK REQUIREMENTS PER FORTVILLE WATER DETAIL SHEETS.
- THE DESIGN AND CONSTRUCTION SHALL COMPLY WITH ALL ADA REQUIREMENTS, SHALL BE PROWAG COMPLIANT AND MEET ALL CURRENT INDOT STANDARD SPECIFICATIONS.
- A ROAD CUT WILL NOT BE PERMITTED FOR ANY UTILITY AFTER A PROOF ROLL HAS BEEN COMPLETED. PRIOR TO A PROOF ROLL, ANY UTILITY PLACED WITHIN THE LIMITS OF THE ROADWAY SHALL BE BACKFILLED WITH GRANULAR MATERIAL AND COMPACTED IN ACCORDANCE WITH STANDARD SPECIFICATIONS.

BENCHMARK INFORMATION

SOURCE BENCHMARK
 HSE 38
 A BRONZE DISK STAMPED "HAMILTON COUNTY GEODETIC CONTROL" SET IN THE NORTH END OF THE EAST CONCRETE HANDRAIL ON THE BRIDGE OVER FALL CREEK ON SOUTHEASTERN PARKWAY SOUTH OF 113TH STREET.
 N=1714311.26
 E=271886.09
 EL=809.14 (NAVD 88)

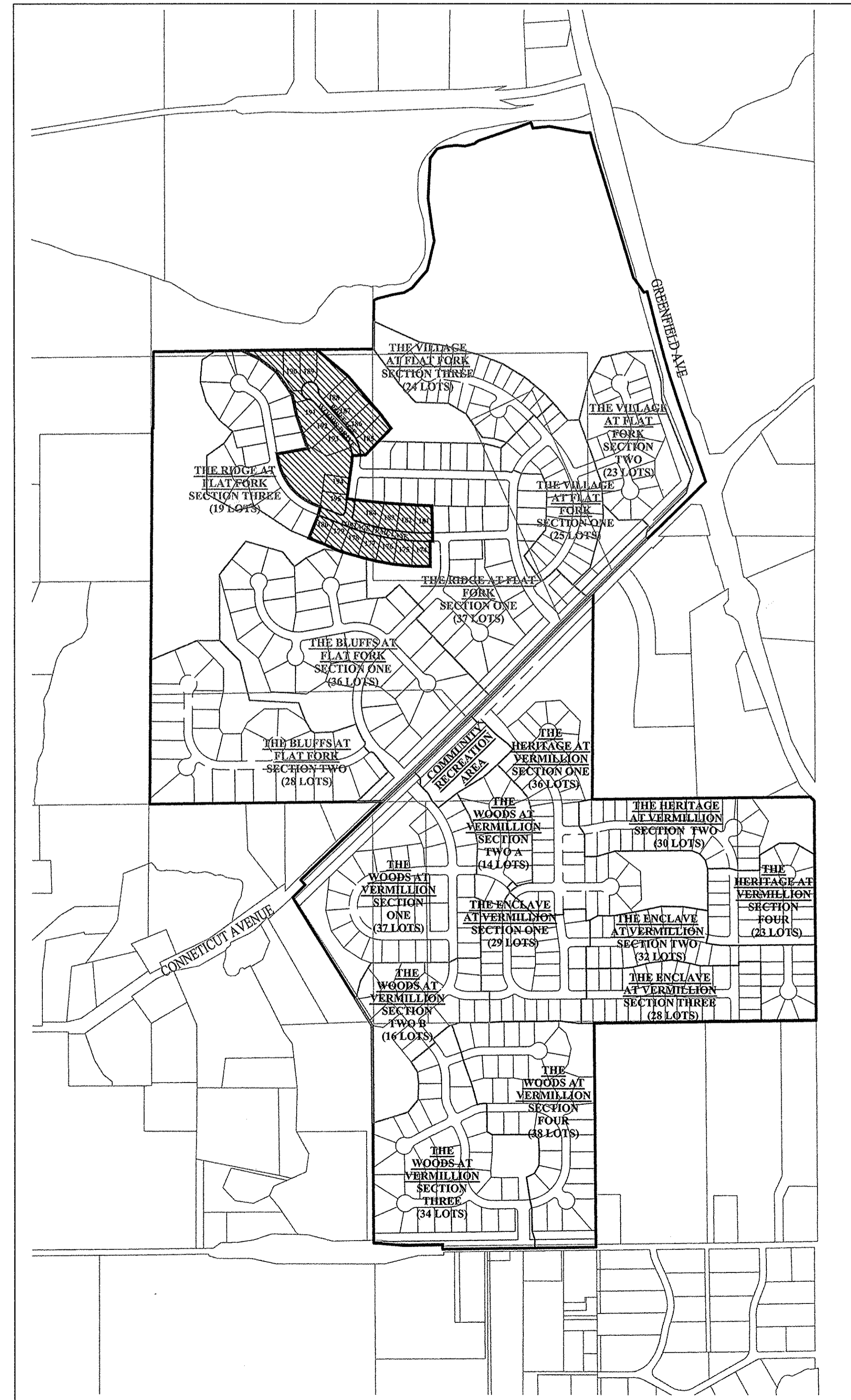
TBM - WOODS 1
 MAG NAIL SET WITH WASHER IN THE CURB ON THE EAST SIDE OF VERMILLION DRIVE, APPROXIMATELY 12' +/- SOUTH OF THE STORM INLET AT THE SOUTHWEST CORNER OF LOT 252 IN THE WOODS AT VERMILLION - SECTION ONE
 N=1709211.04
 E=271032.69
 EL=861.40 (NAVD 88)

TBM - RIDGE 1
 MAG NAIL SET WITH WASHER IN THE WALK ON THE WEST SIDE OF PORTAGE WOODS DRIVE, APPROXIMATELY 5' +/- NORTH AND 19' +/- WEST OF THE CENTERLINE INTERSECTION OF PORTAGE WOODS DRIVE AND HUNTING MEADOW DRIVE IN THE RIDGE AT VERMILLION - SECTION ONE
 N=1712098.06
 E=270413.43
 EL=855.66 (NAVD 88)

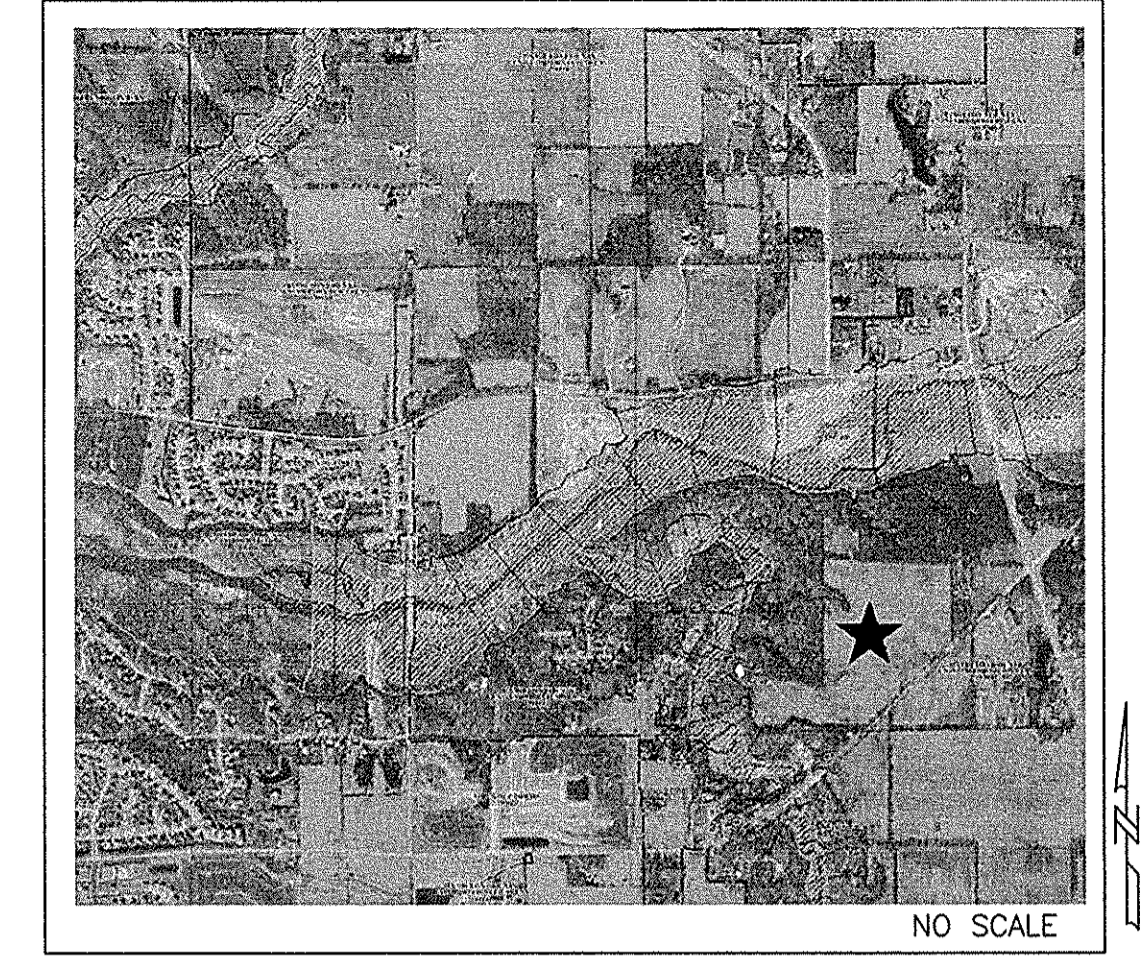
TBM - VILLAGE 1
 MAG NAIL SET IN THE WALK AT THE NORTHEAST CORNER OF CLIFFSIDE DRIVE AND BUCK RIDGE LANE, APPROXIMATELY 24' +/- NORTH OF THE CENTERLINE OF BUCK RIDGE LANE AND 21' +/- EAST OF THE CENTERLINE CLIFFSIDE DRIVE IN THE VILLAGE AT VERMILLION - SECTION ONE
 N=1712107.64
 E=271734.52
 EL=857.24 (NAVD 88)

TBM 2
 RAILROAD SPIKE SET IN THE WEST SIDE OF A UTILITY POLE LOCATED APPROXIMATELY 784' SOUTH OF THE NORTHEAST CORNER OF THE NORTHEAST QUARTER OF SECTION 8-T17N-R6E.
 N=1709400
 E=273165
 EL=864.60 (NAVD 88)

LATITUDE: 39°56'52" N, LONGITUDE: 85°52'16" W



SITE MAP



F.E.M.A. F.I.R.M.

SHEET INDEX

SHEET NO.	DESCRIPTION
C001	TITLE SHEET
C100	EXISTING CONDITIONS / DEMOLITION PLAN
C200	STORMWATER POLLUTION PREVENTION PLAN PHASE 1
C201	STORMWATER POLLUTION PREVENTION PLAN PHASE 2
C202-C203	STORMWATER POLLUTION PREVENTION DETAILS & SPECS.
C300	DEVELOPMENT PLAN
C301	EMERGENCY FLOOD ROUTE PLAN
C400-C401	STREET PLAN & PROFILE/INTERSECTION DETAILS
C402	TRAFFIC CONTROL/SIGNAGE/STREET LIGHT/SUMP PLAN
C403-C406	STREET DETAILS & SPECIFICATIONS
C500-C501	SANITARY SEWER PLAN & PROFILE
C502-C503	SANITARY SEWER DETAILS & SPECIFICATIONS
C600	STORM SEWER PLAN & PROFILE
C601-C602	STORM SEWER DETAILS
C700	WATER MAIN PLAN
C701-C703	WATER MAIN DETAILS/SPECIFICATIONS
L100	LANDSCAPE PLANS - STREET TREES
L200	LANDSCAPE DETAILS

NOTE:
 THE HAMILTON COUNTY SURVEYOR'S OFFICE, HAMILTON COUNTY HIGHWAY DEPARTMENT, HSE UTILITIES, AND FORTVILLE WATER STANDARDS SHALL BE INCORPORATED BY REFERENCE INTO THESE PLANS.

SITE DATA

STREET LENGTHS:
 PORTAGE TRAIL LANE 1647.96 LF ±
 PORTAGE WOODS DRIVE 609.66 LF ±
 TOTAL 2,257.62 LF ±

NOTE: DESIGN SPEED FOR ALL INTERIOR ROADS SHALL BE 25 MPH.

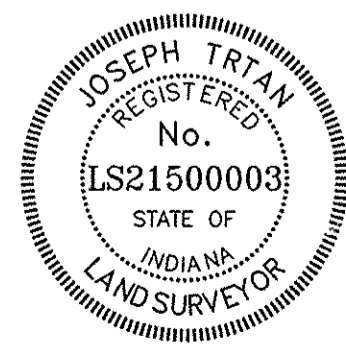
SITE AREA:
 SITE 13.89 AC ±
 LOTS 22

OPERATING AUTHORITIES:

FISHERS DEPARTMENT OF COMMUNITY DEVELOPMENT ONE MUNICIPAL DRIVE FISHERS, IN 46038 317-595-3120 ATTN: ADAM ZAKLIKOWSKI	FORTVILLE WATER 714 E. BROADWAY ST. FORTVILLE, IN 46040 317-485-4044 ATTN: JOE RENNER	HAMILTON COUNTY HIGHWAY DEPARTMENT 1700 S. 10TH STREET NOBLESVILLE, IN 46060 317-773-7770 ATTN: DAVID LUCAS
SAMCO/ HSE UTILITIES 11901 LAKESIDE DRIVE FISHERS, IN 46038 317-577-1150 ATTN: THOMAS KALLIO	TRIAD ASSOCIATES 5835 LAWTON LOOP EAST DRIVE INDIANAPOLIS, IN 46216 317-377-5230 ATTN: DICK MOSIER	
NINESTAR CONNECT (POWER) 2243 EAST MAIN STREET GREENFIELD, IN 46140 317-323-2087 ATTN: JOHN SPLATTER	HAMILTON COUNTY SURVEYOR ONE HAMILTON COUNTY SQUARE, SUITE 188 NOBLESVILLE, INDIANA 46060 317-776-8495 ATTN: STEVE CASH	
VECTREN 16000 ALLISONVILLE ROAD NOBLESVILLE, IN 46061 317-776-5532 ATTN: JOANIE CLARK	COMCAST 5330 E. 65TH STREET INDIANAPOLIS, IN 46220 317-774-3384 ATTN: MATT STRINGER	
NINESTAR CONNECT (TELEPHONE) P.O. BOX 108 MAXWELL, IN 46154 317-323-2078 ATTN: GEORGE PLUSINSKI	EMBARQ/ CENTURY LINK 50 NORTH JACKSON STREET FRANKLIN, IN 46131 317-736-4863 ATTN: DAVID MEYERS	

RECORD DRAWING
 11-15-2017

JOSEPH TRITAN, LS21500003

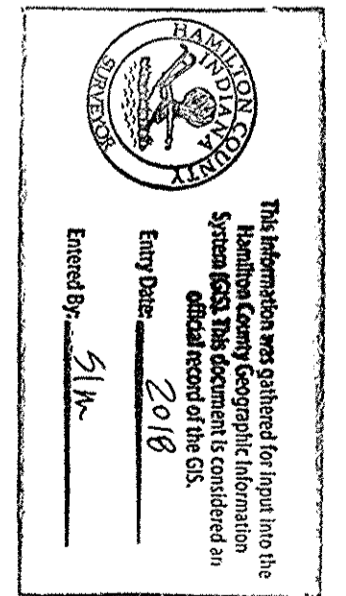


PLANS PREPARED FOR

REPUBLIC DEVELOPMENT
 NORTH CONNECTICUT DEVELOPMENT CORP.
 13578 EAST 131st STREET, SUITE 200
 FISHERS, IN 46037
 TELEPHONE: 317-770-1818
 CONTACT PERSON: DOUG WAGNER

PLANS PREPARED BY

WEIHE ENGINEERS, INC.
 10505 N. COLLEGE AVE.
 INDIANAPOLIS, IN 46280
 (317) 846-6611
 CONTACT PERSON: ALVIN (RUSTY) SKOOG



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 WITHOUT NOTIFYING THE UNDERGROUND
 LOCATION SERVICE TWO (2) WORKING
 DAYS BEFORE COMMENCING WORK.

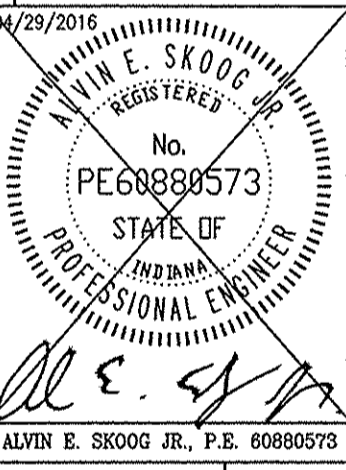
10505 N. College Avenue
 Indianapolis, Indiana 46280
 weihe.net
 317 | 846 - 6611
 800 | 452 - 6408
 317 | 843 - 0546 / fax
 ALLAN H. WEIHE, P.E., L.S. - FOUNDER

WEIHE ENGINEERS
 Land Surveying | Civil Engineering
 Landscape Architecture

PROJECT NO.:	W16.0060
DWG. NAME:	AS SHOWN
DATE:	11-15-2017
DESIGNED BY:	ME
DRAWN BY:	ME
CHECKED BY:	ME
DATE:	02/28/2016

DATE: _____

REVISIONS AND ISSUES



PREPARED FOR:
THE RIDGE AT FLAT FORK SECTION TWO
 NORTH CONNECTICUT DEVELOPMENT CORP.
 TITLE SHEET
 Part of the 8788 / 1/4 of Section 16, Township 17 North, Range 6 East, Fall Creek Township, Hamilton County, Indiana

SHEET NO.
C001

PROJECT NO.
W16.0060

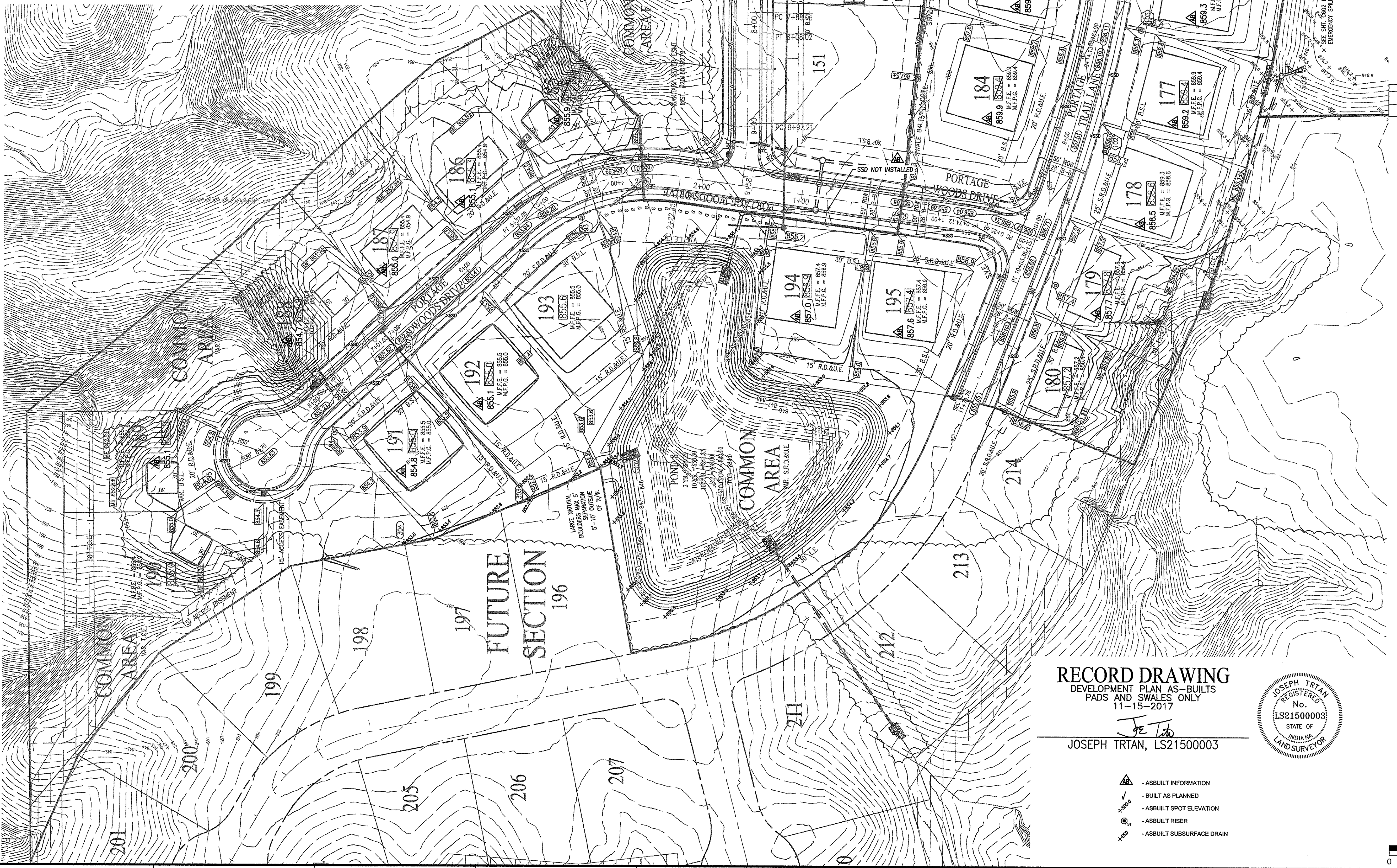
LOCATION: IN 2016 W160060 Section 02 Engineering/Design/Verify/Issue/AS CONSULTANT 0001 This Sheet/Date
 LAYOUT: C001 TITLE SHEET
 PLOTTED BY: weihew
 15, 2017 - 2:20pm

GENERAL NOTES:

1. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING, OR VERIFYING THAT ALL PERMITS AND APPROVALS ARE OBTAINED FROM THE RESPECTIVE CITY, COUNTY, AND STATE AGENCIES PRIOR TO STARTING CONSTRUCTION.
2. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY AND COORDINATE CONSTRUCTION WITH ALL RESPECTIVE UTILITIES.
3. ALL QUANTITIES GIVEN ON THESE PRINTS, ESTIMATES AND SHALL BE CONFIRMED BY THE BIDDING CONTRACTORS.
4. TEMPORARY TRAFFIC CONTROL DURING CONSTRUCTION TO CONFORM TO APPLICABLE LOCAL STANDARDS.
5. BEARINGS, DIMENSIONS, AND EASEMENTS ARE SHOWN FOR REFERENCE ONLY. SEE RECORD SURVEYS AND PLATS FOR EXACT INFORMATION.
6. ALL SIDEWALKS TO BE 5'-0" WIDE AND INSTALLED AS SHOWN ON THIS PLAN.
7. ROLLED CURB & GUTTER SHALL BE INSTALLED THROUGHOUT ENTIRE PROJECT AS SHOWN UNLESS NOTED OTHERWISE.
8. A HANDICAPPED RAMP IS TO BE INSTALLED AT ALL LOCATIONS WHERE A SIDEWALK IS SHOWN INTERSECTING A CURB - SEE DETAIL.
9. ANY DRAINAGE LINE SYSTEM COMING ONTO PROPERTY SHALL BE CONNECTED INTO THE PROPOSED DRAINAGE SYSTEM IN ORDER TO MAINTAIN POSITIVE DRAINAGE FOR THE OFFSITE SYSTEM.
10. REFER TO THE INDIANA DEPARTMENT OF TRANSPORTATION (INDOT) STANDARD SPECIFICATIONS, LATEST EDITION WITH SUPPLEMENTS, FOR BASIC MATERIALS AND CONSTRUCTION METHODS. FILL MATERIAL SHALL CONSIST OF EARTH OBTAINED FROM CUT AREAS, BORROW PITS OR OTHER APPROVED SOURCES. EARTH SHALL BE FREE FROM ORGANIC MATTER AND OTHER DELETERIOUS SUBSTANCES AND LARGE ROCKS. THE FILL MATERIAL SHALL BE PLACED IN LAYERS NOT TO EXCEED SIX INCHES FOLLOWING PROPER MOISTURE CONTENT OF FILL MATERIAL WILL BE SUCH TO ACHIEVE SPECIFIED COMPACTION DENSITY. ALL FILL BENEATH PAVED AREAS, FLOOR SLABS AND FUTURE BUILDINGS SHALL BE COMPACTED TO AT LEAST 95% OF THE MAXIMUM DRY DENSITY PER ASTM D-1557. FIELD COMPACTION TEST SHALL BE RUN ON EACH LIFT IN FILL SECTIONS, AND THE REQUIRED COMPACTION ON EACH LIFT SHALL BE IN ACCORDANCE WITH INDOT SECTION 211.
11. THE CONTRACTOR SHALL CONTACT ALL UTILITY COMPANIES TO LOCATE MAINS, CONDUITS, SERVICE LINES, ETC. IN THE AFFECTED CONSTRUCTION AREA. EXISTING UTILITY STRUCTURES ARE SHOWN HERE IN ACCORDANCE WITH AVAILABLE INFORMATION. THE LOCATION AND PROTECTION OF UTILITY STRUCTURES, THEIR SUPPORT AND MAINTENANCE DURING CONSTRUCTION (IN COOPERATION WITH APPLICABLE UTILITY COMPANY) IS THE EXPRESSED RESPONSIBILITY OF THE CONTRACTOR.
12. ALL SPOT ELEVATIONS ARE TO FINISHED GRADE.
13. ALL GORDERS AT BOUNDARY SHALL MEET EXISTING.
14. ANY PART OF SANITARY OR STORM SEWER TRENCHES RUNNING UNDER OR WITHIN 5' OF PAVEMENT TO BE BACKFILLED WITH GRANULAR MATERIAL.
15. ALL CONSTRUCTION ON THIS SITE TO BE PERFORMED IN COMPLIANCE WITH O.S.H.A. STANDARDS FOR WORKER SAFETY.
16. THE CONTRACTOR SHALL CONFIRM ALL EARTHWORK QUANTITIES PRIOR TO THE START OF CONSTRUCTION. IF AN EXCESS OR SHORTAGE OF EARTH IS ENCOUNTERED, THE CONTRACTOR SHALL CONFIRM WITH THE OWNER AND ENGINEER THE REQUIREMENTS FOR STOCKPILING, REMOVAL OR IMPORTING OF EARTH.
17. PROVIDE POSITIVE DRAINAGE WITHOUT PONDING IN ALL AREAS AFTER INSTALLATION. CONTRACTOR TO TEST FOR AND CORRECT ANY PONDING CONDITIONS.
18. ALL 6" SSD SHALL BE DOUBLE WALL SMOOTH BORE PIPE. (SEE HAMILTON COUNTY STANDARD DETAILS)
19. THE FINISHED FLOOR GRADE FOR EACH LOT MUST BE 6" ABOVE PAD, CENTER OF LOT, M.F.P.G. OR M.F.F.E., WHICHEVER IS HIGHEST.
20. FINISHED FLOOR ELEVATION (FFE)
21. PRODUCT
22. FINISHED FLOOR ELEVATION (FFE)
23. SLAB ON GRADE 0.7 + PAD ELEVATION
24. BASEMENT 1.8 + PAD ELEVATION
25. UNPAD ELEVATION PER LOT SHOWN ON DEVELOPMENT PLAN

UNLESS APPROVED OTHERWISE BY HSE, THE FINISHED FLOOR ELEVATION ON A PLOT PLAN FOR A LOT IN THIS DEVELOPMENT CANNOT EXCEED THE CORRESPONDING FFE ESTABLISHED HEREON BY MORE THAN FIVE TENTHS (0.50) FOOT.

21. THE CONTRACTOR SHALL STAMP THE LETTER "S" IN THE CURB PERPENDICULAR TO THE LATERAL MARKER.



LEGEND

- RIGHT-OF-WAY LINE
- STORM SEWER LINE
- SWALE
- SANITARY SEWER LINE
- SANITARY SEWER MANHOLE
- SANITARY SEWER LATERAL
- FLOW DIRECTION
- EXISTING SPOT ELEVATION
- EXISTING CONTOURS
- PROPOSED ELEVATION
- STORM SEWER INLET
- STORM INLET
- FIRE HYDRANT WITH VALVE
- TEE
- VALVE
- REDUCER
- BLOW-OFF VALVE
- TOP OF CASTING
- INVERT
- REINFORCED CONCRETE PIPE
- MANHOLE
- STRUCTURE
- REGULATED DRAINAGE AND UTILITY EASEMENT
- SANITARY, REGULATED DRAINAGE, AND UTILITY EASEMENT
- SIGHT VISIBILITY EASEMENT
- SANITARY SEWER
- BUILDING SETBACK LINE
- HANDICAP RAMP
- MATCH EXISTING GRADE
- SUBSURFACE DRAIN AND SUMP LINE
- STORM SEWER
- REGULATED BACKFILL
- CONCRETE END SECTION
- SANITARY SEWER
- SANITARY SEWER PIPE (SDR-35)
- (UNLESS OTHERWISE NOTED)
- TYPICAL
- PROPOSED
- EXISTING
- RADIUS
- FULL PAD ELEV (70'x70')
- (ALL HALF PADS 70'x30')
- VARIABLE WIDTH
- A.D.A. RAMP
- TREE CONSERVATION AREA
- T.C.E. = TREE CONSERVATION EASEMENT
- M.F.P.G. = MINIMUM FLOOD PROTECTION GRADE
- M.F.F.E. = MINIMUM FINISH FLOOR ELEVATION

BENCHMARK INFORMATION

SOURCE BENCHMARK
HSE 38

A BRONZE DISK STAMPED "HAMILTON COUNTY GEODETIC CONTROL" SET IN THE NORTH END OF THE EAST CONCRETE HANDRAIL ON THE BRIDGE OVER FALL CREEK ON SOUTHEASTERN PARKWAY SOUTH OF 113TH STREET.

N=1714311.26
E=271886.09
EL=809.14 (NAVD 88)

TBM - WOODS 1

MAG NAIL SET WITH WASHER IN THE CURB ON THE EAST SIDE OF VERMILLION DRIVE, APPROXIMATELY 12' +/- SOUTH OF THE STORM INLET AT THE SOUTHWEST CORNER OF LOT 252 IN THE WOODS AT VERMILLION - SECTION ONE

N=1709211.04
E=271032.69
EL=861.40 (NAVD 88)

TBM - RIDGE 1

MAG NAIL SET WITH WASHER IN THE WALK ON THE WEST SIDE OF PORTAGE WOODS DRIVE, APPROXIMATELY 5' +/- NORTH AND 19' +/- WEST OF THE CENTERLINE INTERSECTION OF PORTAGE WOODS DRIVE AND HUNTING MEADOW DRIVE IN THE RIDGE AT VERMILLION - SECTION ONE

N=1712098.06
E=270413.43
EL=855.66 (NAVD 88)

TBM - VILLAGE 1

MAG NAIL SET IN THE WALK AT THE NORTHEAST CORNER OF CLIFFSIDE DRIVE AND BUCK RIDGE LANE, APPROXIMATELY 24' +/- NORTH OF THE CENTERLINE OF BUCK RIDGE LANE AND 21' +/- EAST OF THE CENTERLINE CLIFFSIDE DRIVE IN THE VILLAGE AT VERMILLION - SECTION ONE

N=1712107.64
E=271734.52
EL=857.24 (NAVD 88)

TBM 2

RAILROAD SPIKE SET IN THE WEST SIDE OF A UTILITY POLE LOCATED APPROXIMATELY 784' SOUTH OF THE NORTHEAST CORNER OF THE NORTHEAST QUARTER OF SECTION 8-T17N-R6E.

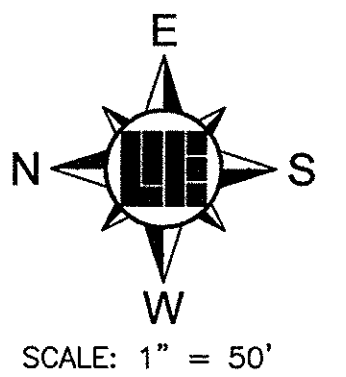
N=1709400
E=273165
EL=864.60 (NAVD 88)

RECORD DRAWING
DEVELOPMENT PLAN AS-BUILTS
PADS AND SWALES ONLY
11-15-2017

JOSEPH TRTAN, LS21500003



- AS-BUILT INFORMATION
- BUILT AS PLANNED
- AS-BUILT SPOT ELEVATION
- AS-BUILT RISER
- AS-BUILT SUBSURFACE DRAIN



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317 | 843 - 0546 fax
ALLAN H. WEIHE, P.E., L.S., FOUNDER

WEIHE ENGINEERS
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Landscape Architecture

PROJECT NO.: W16.0060
DATE: 02-26-2018

DESIGNED BY: MEN
DRAWN BY: MEN
CHECKED BY: AES

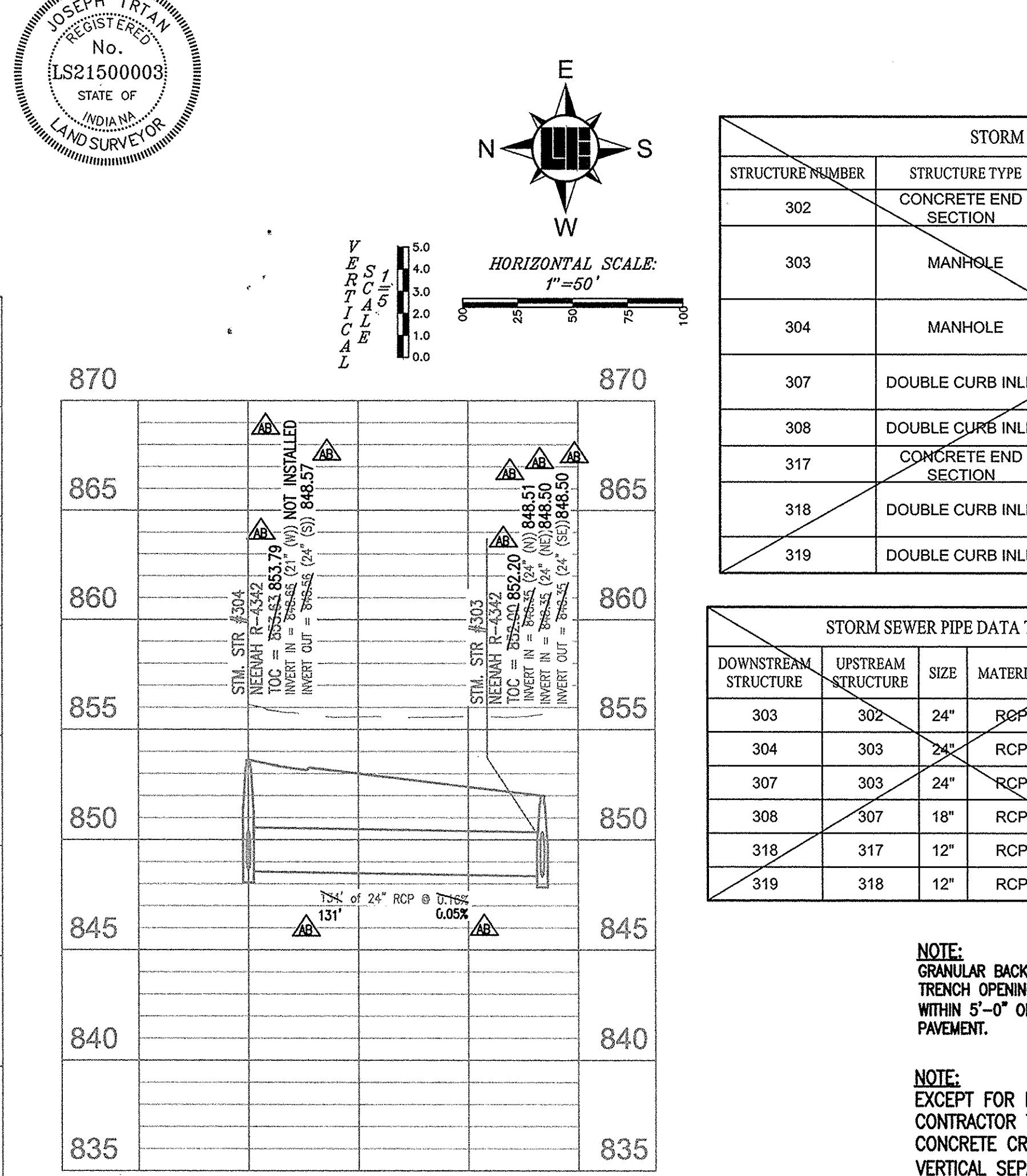
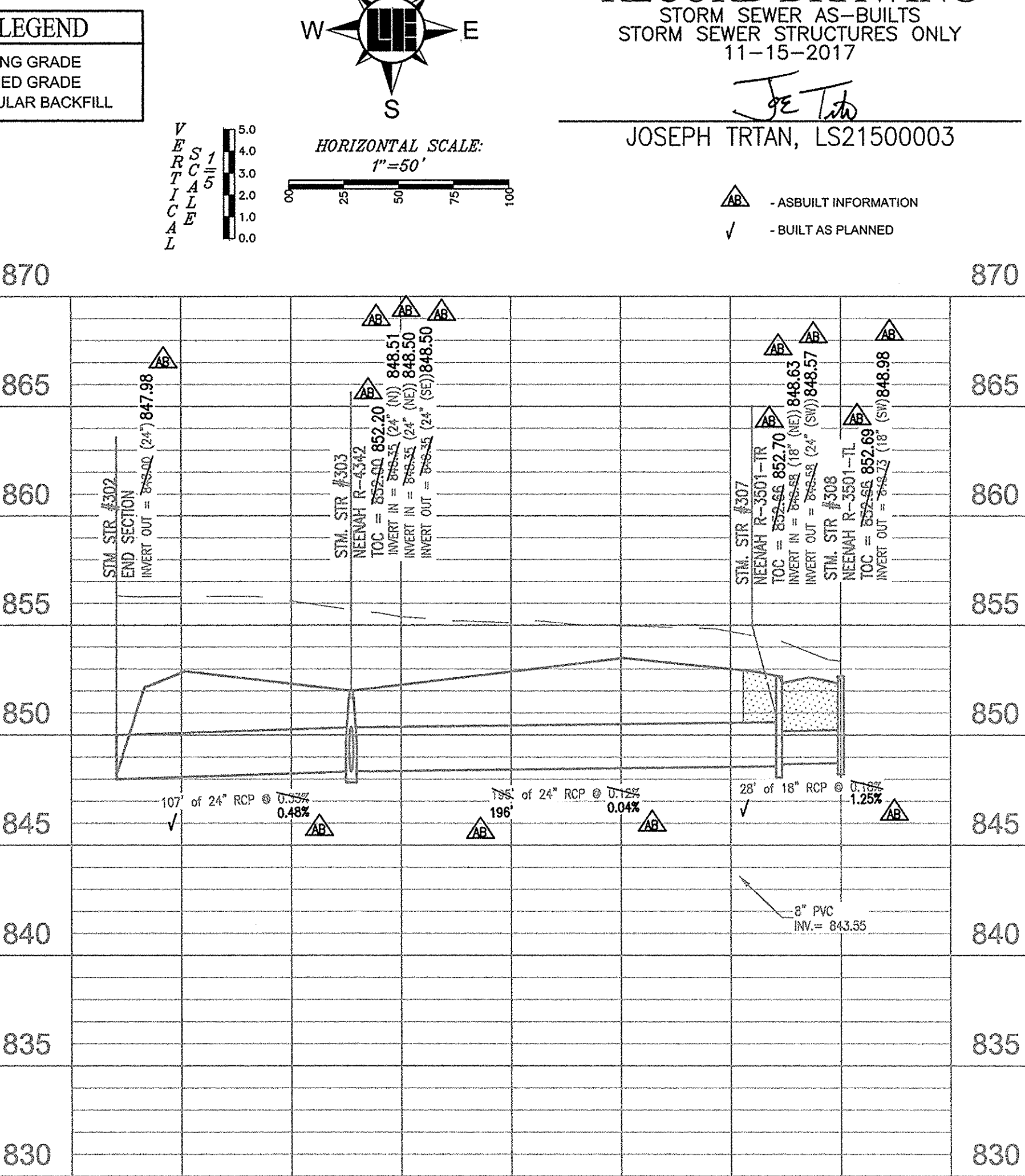
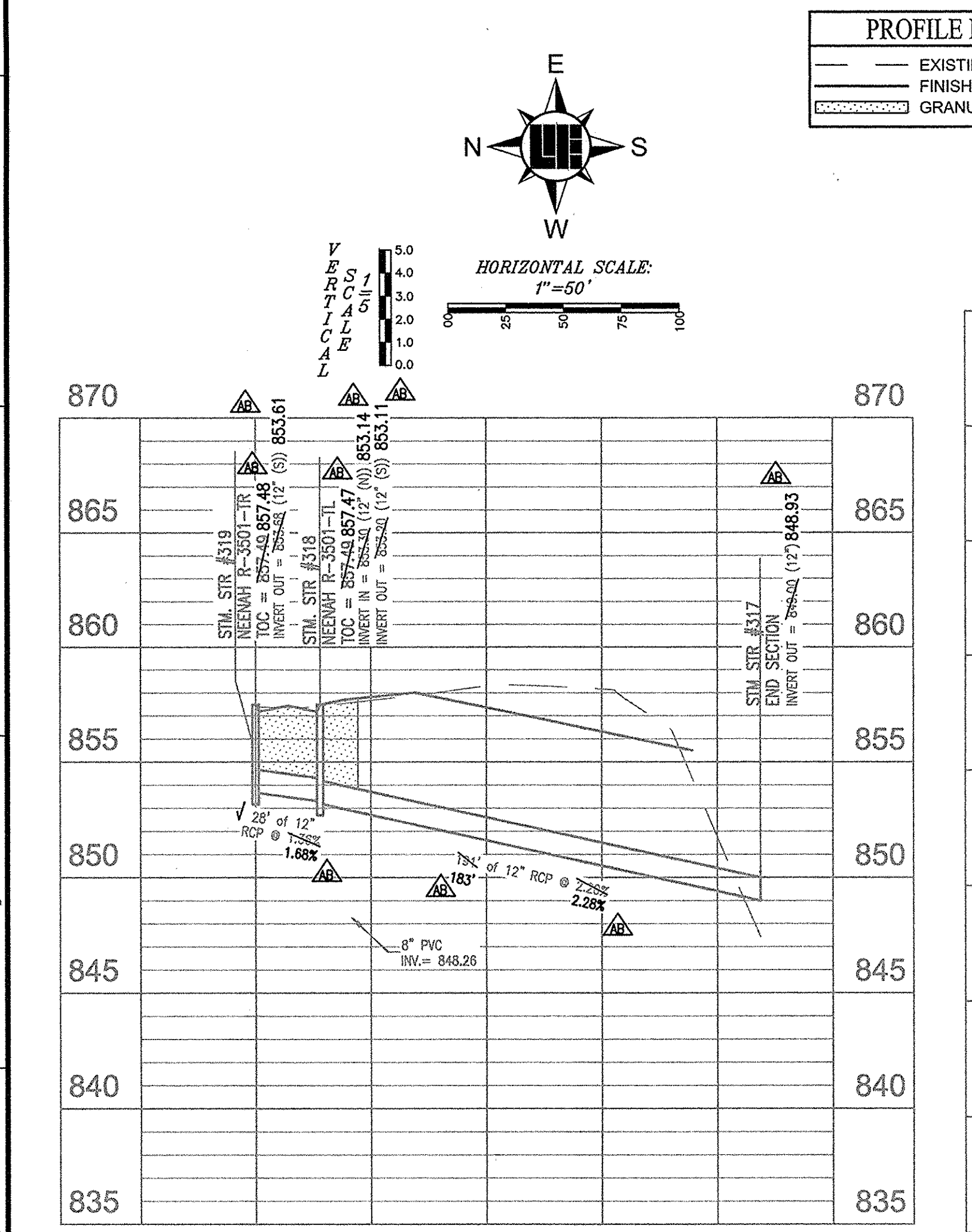
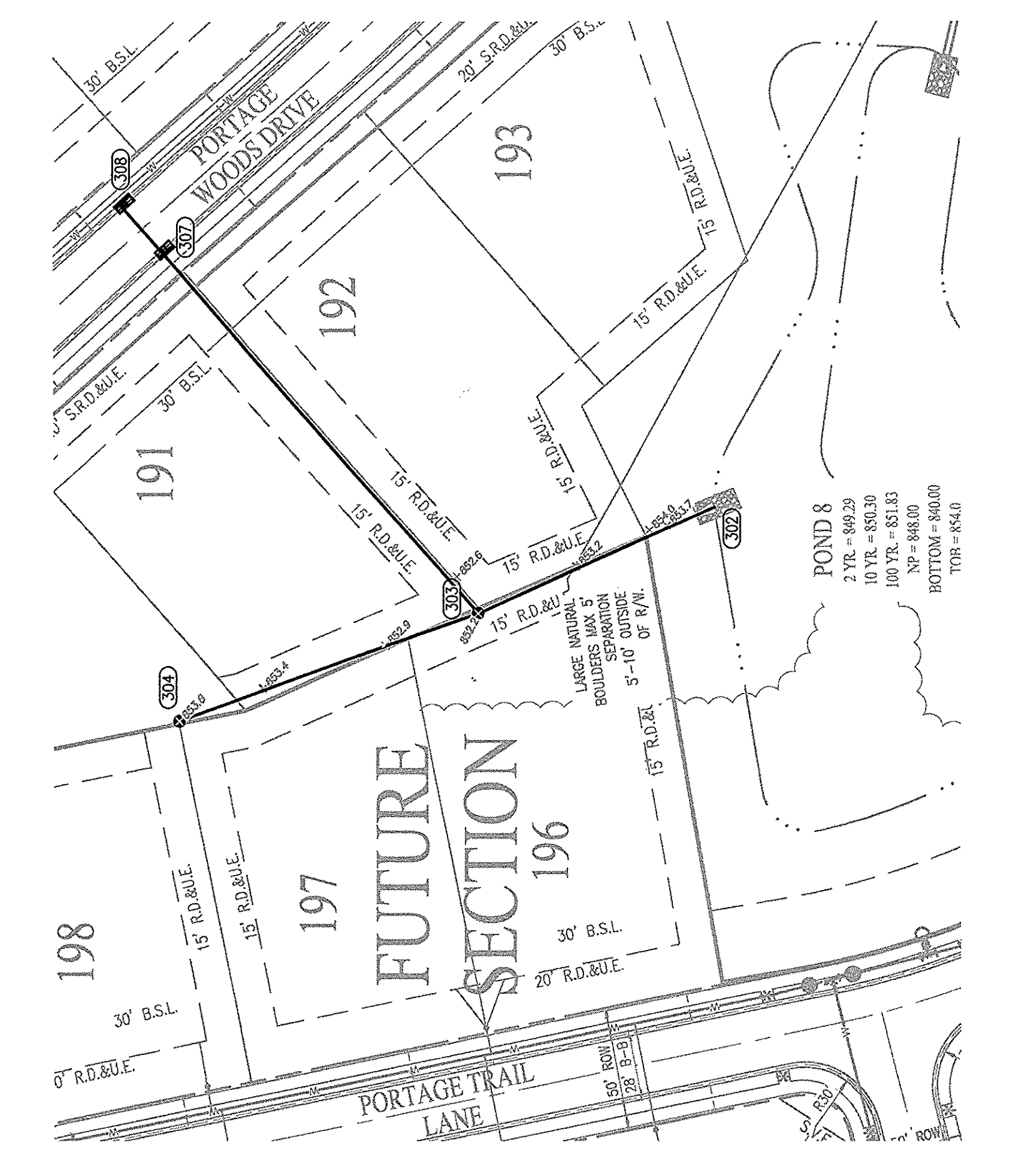
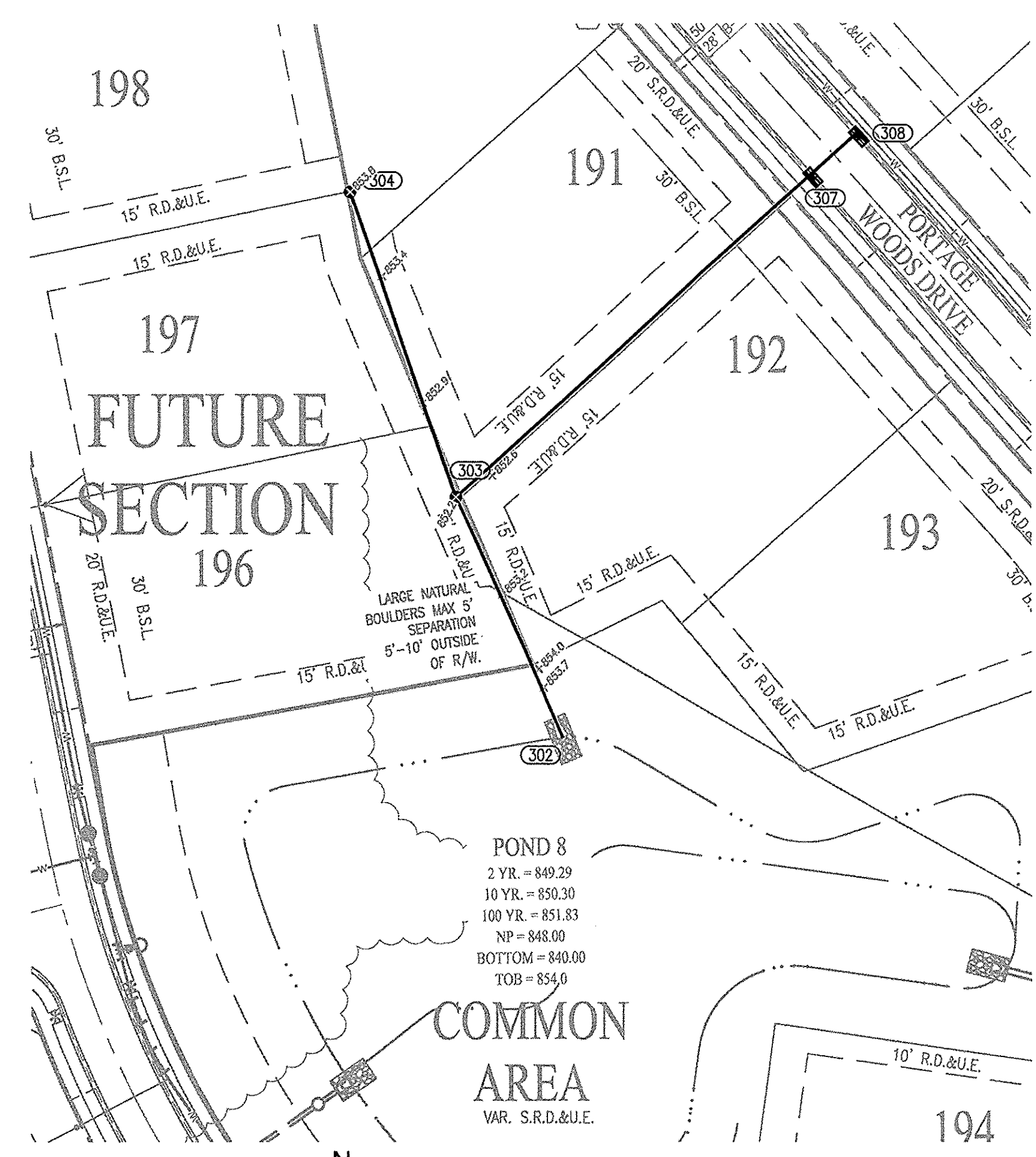
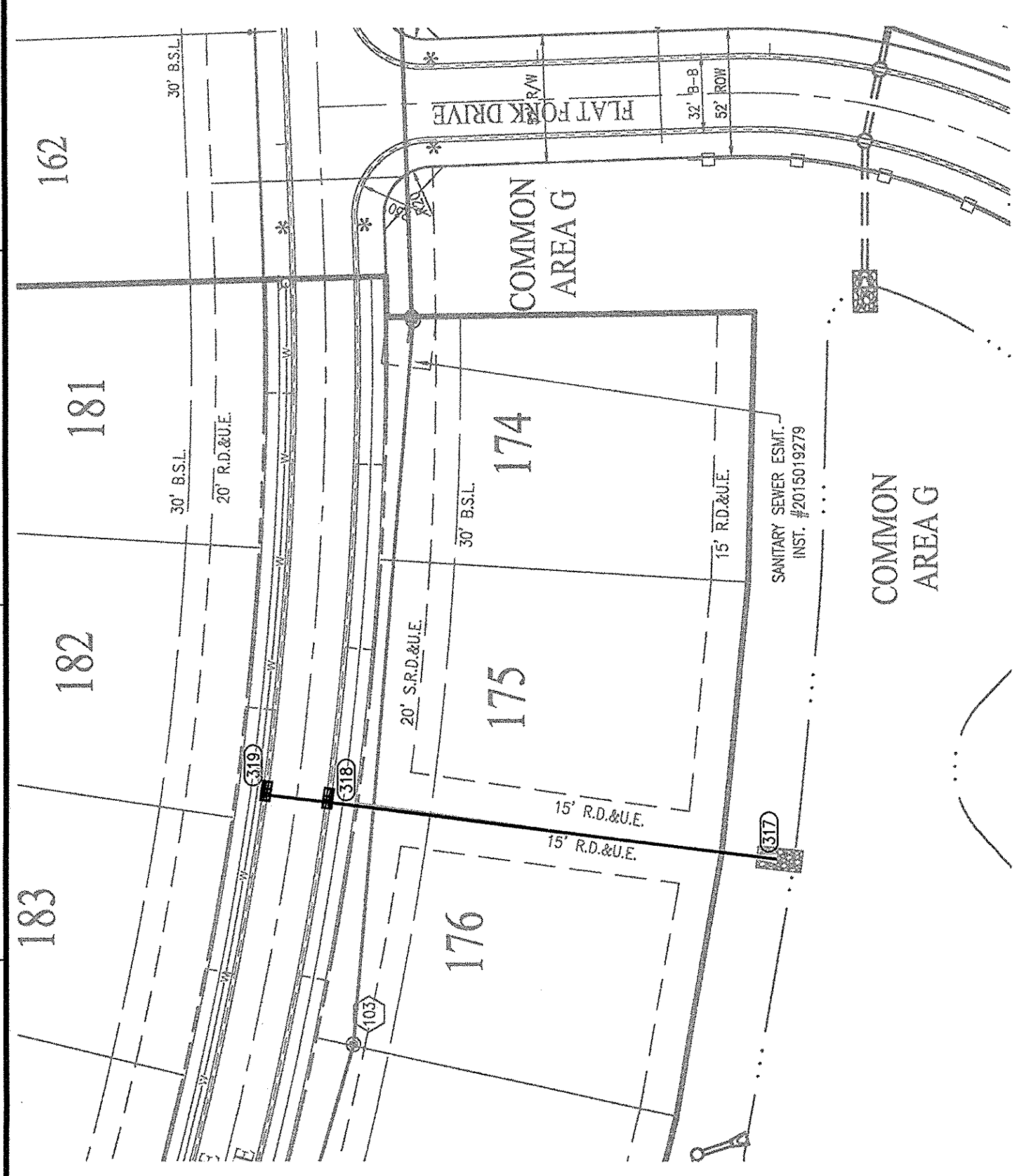
REGISTERED PROFESSIONAL ENGINEER
ALVIN E. SKOOG JR., P.E. 60886973

THE RIDGE AT FLAT FORK SECTION TWO
NORTH CONNECTICUT DEVELOPMENT, CORP.
DEVELOPMENT PLAN

Part of the 57.88 1/4 of Section 15, Township 17 North, Range 6 East, Full Creek Township, Hamilton County, Indiana

SHEET NO. **C300**
PROJECT NO. **W16.0060**

LOCATION: H:\2016\W160060\Section_C300\Engineering\Design\Subarea\AS-Built\AS-Built_C300_Development_Plan.dwg
DATE PLOTTED: 02/26/2018 10:52:00 AM
PLOTTER: HP DesignJet 5000PS
PLOTTER DRIVER: weibe

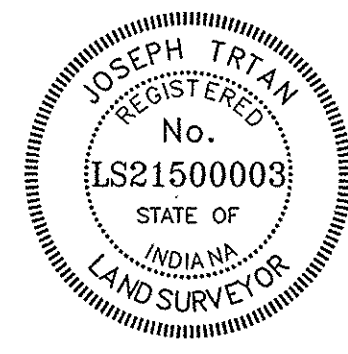


PROFILE LEGEND

- EXISTING GRADE
- FINISHED GRADE
- ▨ GRANULAR BACKFILL

RECORD DRAWING
STORM SEWER AS-BUILTS
STORM SEWER STRUCTURES ONLY
11-15-2017

JOSEPH TRTAN, LS21500003



STORM SEWER STRUCTURE DATA TABLE

STRUCTURE NUMBER	STRUCTURE TYPE	TOP OF CASTING	CASTING TYPE	INVERT
302	CONCRETE END SECTION	N/A	N/A	INV IN = 848.00(NW)
303	MANHOLE	852.00	NEENAH R-4342	INV IN = 848.35(N) INV IN = 848.35(NE) INV OUT = 848.35(SE)
304	MANHOLE	853.63	NEENAH R-4342	INV IN = 848.66(W) INV OUT = 848.56(S)
307	DOUBLE CURB INLET	852.66	NEENAH R-3501-TR	INV IN = 848.66(NE) INV OUT = 848.58(SW)
308	DOUBLE CURB INLET	852.66	NEENAH R-3501-TL	INV OUT = 848.73(SW)
317	CONCRETE END SECTION	N/A	N/A	INV IN = 849.00(N)
318	DOUBLE CURB INLET	857.49	NEENAH R-3501-TL	INV IN = 853.30(N) INV OUT = 853.20(S)
319	DOUBLE CURB INLET	857.49	NEENAH R-3501-TR	INV OUT = 853.68(S)

STORM SEWER PIPE DATA TABLE

DOWNSIDE STRUCTURE	UPSTREAM STRUCTURE	SIZE	MATERIAL	LENGTH	SLOPE
303	302	24"	RCP	107'	0.33%
304	303	24"	RCP	134'	0.16%
307	303	24"	RCP	195'	0.12%
308	307	18"	RCP	28'	0.18%
318	317	12"	RCP	191'	2.20%
319	318	12"	RCP	28'	1.36%

NOTE:
GRANULAR BACKFILL REQUIRED WHERE TRENCH OPENING ENCLOSES TO WITHIN 5'-0" OF SIDEWALK OR PAVEMENT.

NOTE:
EXCEPT FOR FORCE MAINS, CONTRACTOR TO INSTALL CONCRETE CRADLES WHEN THE VERTICAL SEPARATION (AS MEASURED FROM THE EXTERIOR OF THE PIPES) BETWEEN SANITARY SEWER FACILITIES AND STORM SEWERS IS 18" OR LESS



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800 | 452 - 6408
317 | 843 - 0546 fax
ALLAN H. WEIHE, P.E., L.S. - FOUNDER

WEIHE ENGINEERS
Land Surveying | Civil Engineering
Landscape Architecture

BY: _____ DATE: _____

PROJECT NO.: W16.0060
DWG NAME: AS-BUILT Storm PIP
DESIGNED BY: _____
DRAWN BY: _____
CHECKED BY: _____
DATE: 02.26.2018

Professional Engineer Seal for Alvin E. Skoog, No. PE68880573, State of Indiana.

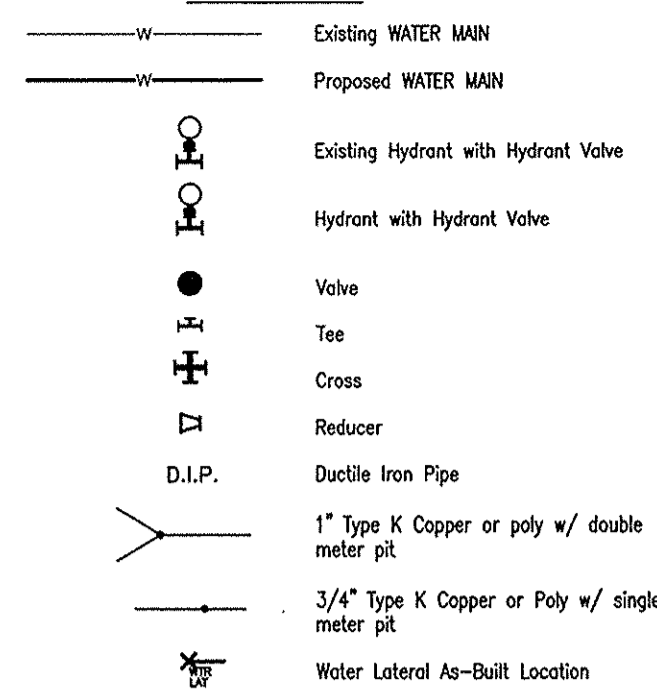
PREPARED FOR:
THE RIDGE AT FLAT FORK SECTION TWO
NORTH CONNECTICUT DEVELOPMENT CORP.
STORM PLAN AND PROFILE
Part of the 28.68 / A of Section 15, Township 17 North, Range 6 East, Full Creek Township, Hamilton County, Indiana

SHEET NO. **C600**
PROJECT NO. **W16.0060**

WATER MAIN NOTES:

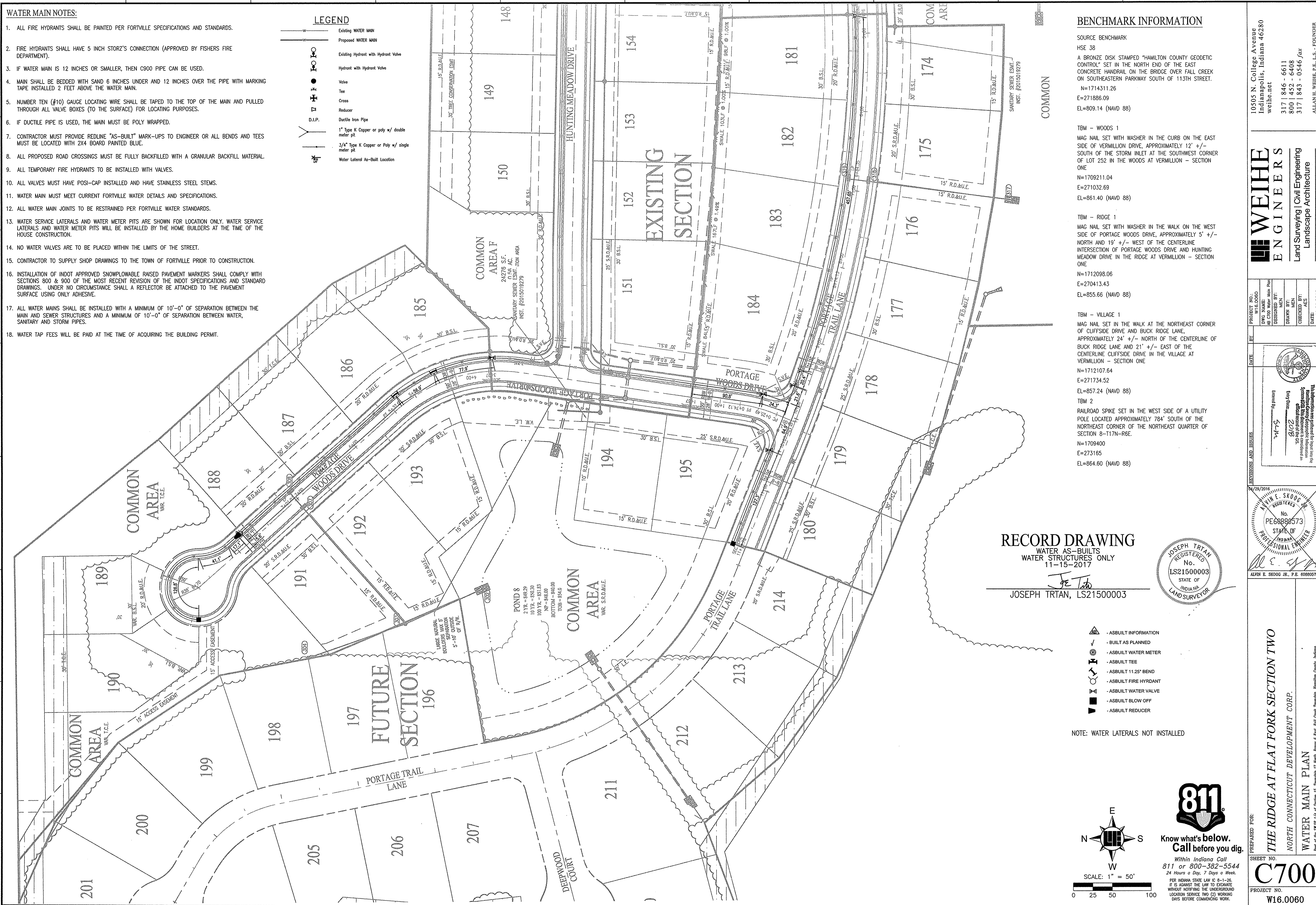
- ALL FIRE HYDRANTS SHALL BE PAINTED PER FORTVILLE SPECIFICATIONS AND STANDARDS.
- FIRE HYDRANTS SHALL HAVE 5 INCH STORZ'S CONNECTION (APPROVED BY FISHERS FIRE DEPARTMENT).
- IF WATER MAIN IS 12 INCHES OR SMALLER, THEN C900 PIPE CAN BE USED.
- MAIN SHALL BE BEDDED WITH SAND 6 INCHES UNDER AND 12 INCHES OVER THE PIPE WITH MARKING TAPE INSTALLED 2 FEET ABOVE THE WATER MAIN.
- NUMBER TEN (#10) GAUGE LOCATING WIRE SHALL BE TAPED TO THE TOP OF THE MAIN AND PULLED THROUGH ALL VALVE BOXES (TO THE SURFACE) FOR LOCATING PURPOSES.
- IF DUCTILE PIPE IS USED, THE MAIN MUST BE POLY WRAPPED.
- CONTRACTOR MUST PROVIDE REDLINE "AS-BUILT" MARK-UPS TO ENGINEER OR ALL BENDS AND TEES MUST BE LOCATED WITH 2X4 BOARD PAINTED BLUE.
- ALL PROPOSED ROAD CROSSINGS MUST BE FULLY BACKFILLED WITH A GRANULAR BACKFILL MATERIAL.
- ALL TEMPORARY FIRE HYDRANTS TO BE INSTALLED WITH VALVES.
- ALL VALVES MUST HAVE POSI-CAP INSTALLED AND HAVE STAINLESS STEEL STEMS.
- WATER MAIN MUST MEET CURRENT FORTVILLE WATER DETAILS AND SPECIFICATIONS.
- ALL WATER MAIN JOINTS TO BE RESTRAINED PER FORTVILLE WATER STANDARDS.
- WATER SERVICE LATERALS AND WATER METER PITS ARE SHOWN FOR LOCATION ONLY. WATER SERVICE LATERALS AND WATER METER PITS WILL BE INSTALLED BY THE HOME BUILDERS AT THE TIME OF THE HOUSE CONSTRUCTION.
- NO WATER VALVES ARE TO BE PLACED WITHIN THE LIMITS OF THE STREET.
- CONTRACTOR TO SUPPLY SHOP DRAWINGS TO THE TOWN OF FORTVILLE PRIOR TO CONSTRUCTION.
- INSTALLATION OF INDOT APPROVED SNOWPLOWABLE RAISED PAVEMENT MARKERS SHALL COMPLY WITH SECTIONS 800 & 900 OF THE MOST RECENT REVISION OF THE INDOT SPECIFICATIONS AND STANDARD DRAWINGS. UNDER NO CIRCUMSTANCE SHALL A REFLECTOR BE ATTACHED TO THE PAVEMENT SURFACE USING ONLY ADHESIVE.
- ALL WATER MAINS SHALL BE INSTALLED WITH A MINIMUM OF 10'-0" OF SEPARATION BETWEEN THE MAIN AND SEWER STRUCTURES AND A MINIMUM OF 10'-0" OF SEPARATION BETWEEN WATER, SANITARY AND STORM PIPES.
- WATER TAP FEES WILL BE PAID AT THE TIME OF ACQUIRING THE BUILDING PERMIT.

LEGEND

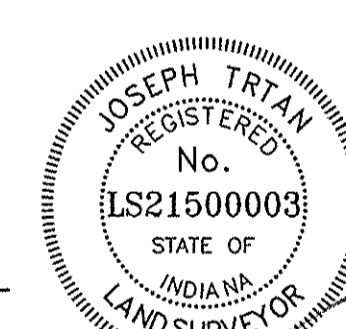


BENCHMARK INFORMATION

- SOURCE BENCHMARK
HSE 38
A BRONZE DISK STAMPED "HAMILTON COUNTY GEODETIC CONTROL" SET IN THE NORTH END OF THE EAST CONCRETE HANDRAIL ON THE BRIDGE OVER FALL CREEK ON SOUTHEASTERN PARKWAY SOUTH OF 113TH STREET.
N=1714311.26
E=271886.09
EL=809.14 (NAVD 88)
- TBM - WOODS 1
MAG NAIL SET WITH WASHER IN THE CURB ON THE EAST SIDE OF VERMILLION DRIVE, APPROXIMATELY 12' +/- SOUTH OF THE STORM INLET AT THE SOUTHWEST CORNER OF LOT 252 IN THE WOODS AT VERMILLION - SECTION ONE
N=1709211.04
E=271032.69
EL=861.40 (NAVD 88)
- TBM - RIDGE 1
MAG NAIL SET WITH WASHER IN THE WALK ON THE WEST SIDE OF PORTAGE WOODS DRIVE, APPROXIMATELY 5' +/- NORTH AND 19' +/- WEST OF THE CENTERLINE INTERSECTION OF PORTAGE WOODS DRIVE AND HUNTING MEADOW DRIVE IN THE RIDGE AT VERMILLION - SECTION ONE
N=1712098.06
E=270413.43
EL=855.66 (NAVD 88)
- TBM - VILLAGE 1
MAG NAIL SET IN THE WALK AT THE NORTHEAST CORNER OF CLIFFSIDE DRIVE AND BUCK RIDGE LANE, APPROXIMATELY 24' +/- NORTH OF THE CENTERLINE OF BUCK RIDGE LANE AND 21' +/- EAST OF THE CENTERLINE CLIFFSIDE DRIVE IN THE VILLAGE AT VERMILLION - SECTION ONE
N=1712107.64
E=271734.52
EL=857.24 (NAVD 88)
- TBM 2
RAILROAD SPIKE SET IN THE WEST SIDE OF A UTILITY POLE LOCATED APPROXIMATELY 784' SOUTH OF THE NORTHEAST CORNER OF THE NORTHEAST QUARTER OF SECTION 8-117N-R6E.
N=1709400
E=273165
EL=864.60 (NAVD 88)

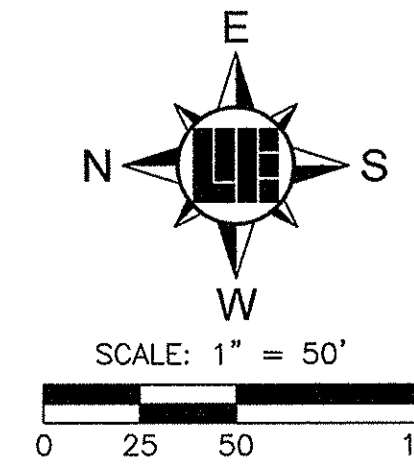


RECORD DRAWING
WATER AS-BUILTS
WATER STRUCTURES ONLY
11-15-2017
JOSEPH TRTAN, LS21500003



- ASBUILT INFORMATION
- BUILT AS PLANNED
- ASBUILT WATER METER
- ASBUILT TEE
- ASBUILT 11.25" BEND
- ASBUILT FIRE HYDRANT
- ASBUILT WATER VALVE
- ASBUILT BLOW OFF
- ASBUILT REDUCER

NOTE: WATER LATERALS NOT INSTALLED



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800 | 452 - 6408
317 | 843 - 0546 fax

WEIHE ENGINEERS
Land Surveying | Civil Engineering
Landscape Architecture

PROJECT NO.:	W16.0060
DATE:	02/28/2016
BY:	WTS
DESIGNED BY:	WTS
DRAWN BY:	WTS
CHECKED BY:	WTS
DATE:	02/28/2016

THE RIDGE AT FLAT FORK SECTION TWO
NORTH CONNECTICUT DEVELOPMENT CORP.
WATER MAIN PLAN
SHEET NO. **C700**
PROJECT NO. **W16.0060**

LOCATION: \\s016\VF160060\Section_C2\Engineering\Waters\W16.0060\W16.0060_C700 Water Main Plan.dwg
 DATE/TIME: November 15, 2017 - 2:53pm
 PLOTTED BY: Ryan